

Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

Part 1

An application is submitted for one or more of the following:

- Rezoning/Bylaw Text Amendment
- OCP Amendment
- Development Permit
- Development Variance Permit

- Board of Variance
- Temporary Use Permit
- _____

Description of Property

Civic Address 10251 West Saanich Rd PID 006-424-376

Legal Lot 1 Block 5 Section 14 Range 1 West Plan 2276

Contacts

Please print clearly.

Applicant

Name Tom Labelle		Company 1379871 BC Ltd.	
Address 4841 Prospect Lake Rd		City Victoria, BC	
Email [REDACTED]		Postal Code V9E 1J5	
Phone 778-837-1148	Cell	Fax	

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature (required) <i>Thomas Labelle</i>	Date February 28, 2024
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Owner

If the applicant is NOT the owner, complete "Owner's Authorization" form.

Name Refer to Applicant Information Above		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

Any personal information provided in this application is collected for the purpose of administering the Local Government Act, and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents		
Required Plans	Receipt No.	Fees \$

Forms of payment accepted:

CASH

CHEQUE

INTERAC

Development / Variance Permit Application



Part 2

Development Details

Current Zoning C-1 Property Size (m² or ha) 591.54 m²

Existing Use Residential

Describe Proposal The rationale for submitting this development permit application is to renovate the existing structure at 10251 West Saanich Rd for the intended purpose of operating a professional office on the main floor, with a residential suite on the second floor. The development proposed also includes constructing a parking lot in the backyard.

Requested Variances

Bylaw Section & Requirement	Permitted	Proposed	Difference
<i>Example</i> (Section 204.7 – Building Height)	(9.0m)	(9.5m)	(0.5m)
306.1 (number of off-street parking stalls required)	6	5	1

(attach additional information to clarify)

Justification and Support

Please see Rationale Letter attached, which details justification, hardship and support for the development and variance requested

(attach additional information to clarify)

Site Profile for Contaminated Sites

Pursuant to the *Environmental Management Act*, an applicant is required to submit a completed "Site Profile" on properties that are/were used for purposes indicated in Schedule 2 of the *Contaminated Sites Regulations*.

Please indicate if:

- yes no the property has been used for commercial or industrial purposes; and,
 yes no soil removal is required as part of this proposed permit.

If both of these are applicable (yes) consult with Schedule 2 of the *Contaminated Sites Regulations*, obtained from the Municipal Hall, to determine if a Site Profile is necessary. Additional information regarding contaminated sites is available from the municipality or from the BC Government website – [Contaminated Sites page](#). Site Profile deemed not necessary based on historical use as per Schedule 2 of the Contaminated Sites Regulations

Part 2

Consult with staff to determine non-applicable (N/A) items. Additional information may be requested during application review.

Req'd	Rec'd	Documents
✓		Copy of Certificate of Title Current copy (30 days or less), including relevant covenants, rights-of-way & easements
✓		Brief Rationale for Proposal Show justification for the variance(s)
N/A		Site Profile Complete "Schedule 1" from the <i>Contaminated Sites Regulations</i>
✓		Community Comments Include any comments from neighbours/community associations

Development Summary (data table on plans)	
✓	Owner & Designer/Architect
✓	Civic & legal address
✓	Project description
✓	Site area & site coverage
✓	Total floor area & floor area ratio (FAR)
✓	All setbacks
✓	Number & type of units
✓	Parking requirements & calculations
✓	Height of building
✓	Variance(s) requested

Req'd	Rec'd	Plans	Details	
		Sets of metric plans	Reduced sets of metric plans	
		Site Plan metric scale only	✓	North arrow and scale
			✓	Dimensions of property lines, rights-of-way, easements
			✓	Dimensions & setbacks of all buildings & structures
			✓	Location of existing & proposed access, sidewalks, curbs, boulevards, edge of pavement & transit stops
			✓	Location, numbering & dimensions of all vehicle and bicycle parking, disabled persons' parking, vehicle stops & loading
			✓	Natural & finished grades
			✓	Locate all water lines, wells, septic fields, sanitary sewer & storm drain facilities
				Locate high water mark, top of bank, natural boundaries, watercourses & riparian area on or within 30 m of property
			✓	Location & dimensions of free-standing signs (relating to DVP)
			✓	Identify requested variance(s)
		Floor Plans min. scale 1:100	✓	Uses of spaces & building dimensions
		Elevations min. scale 1:100	✓	Building finishes, materials & colours
			✓	Natural, finished grade & floor(s), roof & building height elevations
			✓	Locations & sizes of roof mechanical equipment, stairwells, elevator shafts etc that protrude above the roof line (if relating to DVP)
				Building signage details (if relating to DVP)
		Landscape Plan scale as site plan	✓	If required to demonstrate requested variance(s)

Additional Requirements

Summary of Supporting Documents Included:

**Municipal
Specific
Requirements**

- Project Rationale
- Zoning Analysis Table
- Site Plan and Building Plans
- Landscape Plan
- Letters of support from three neighboring properties
- Arborist Assessment and Tree Report
- Copy of Title Certificate

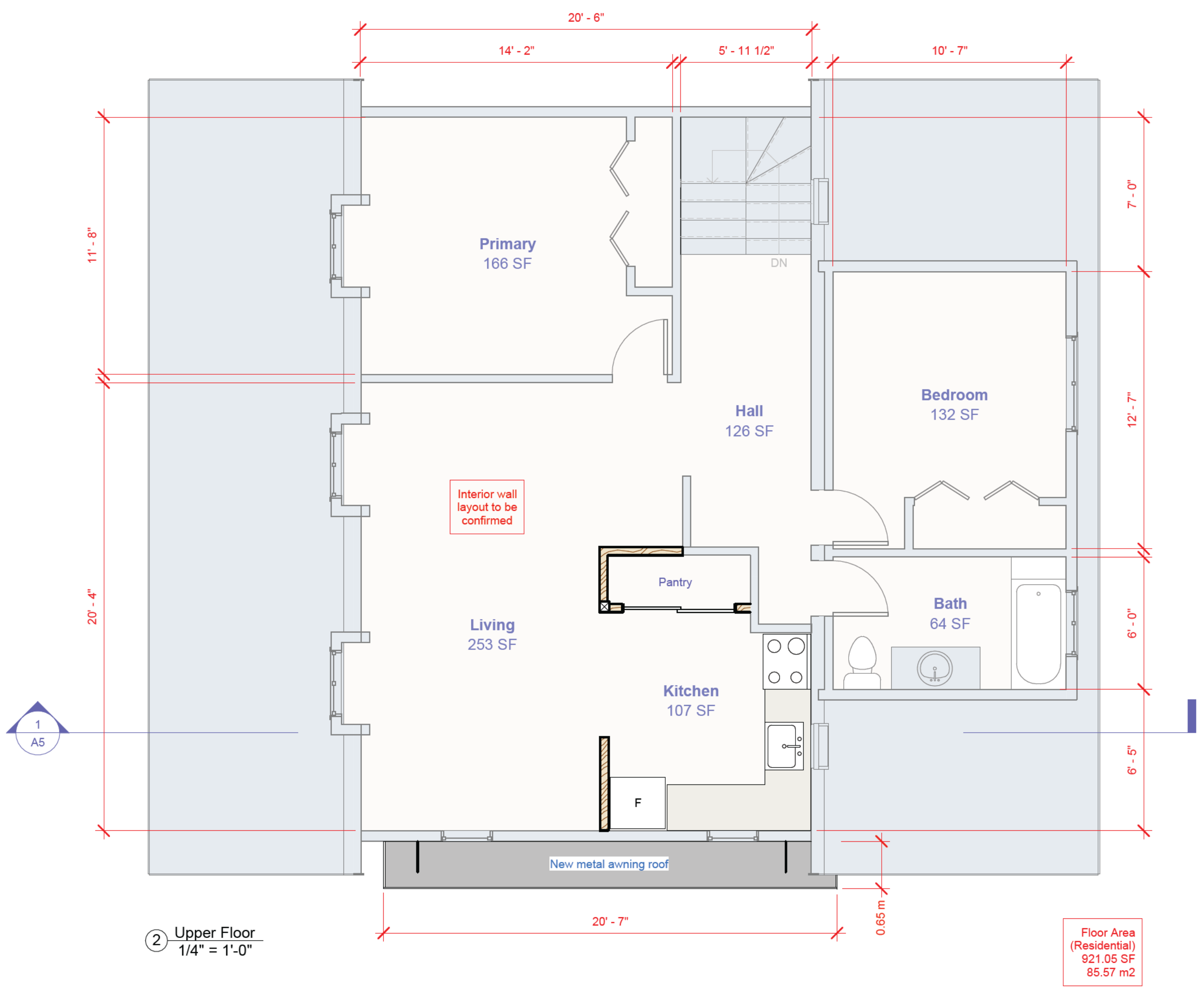
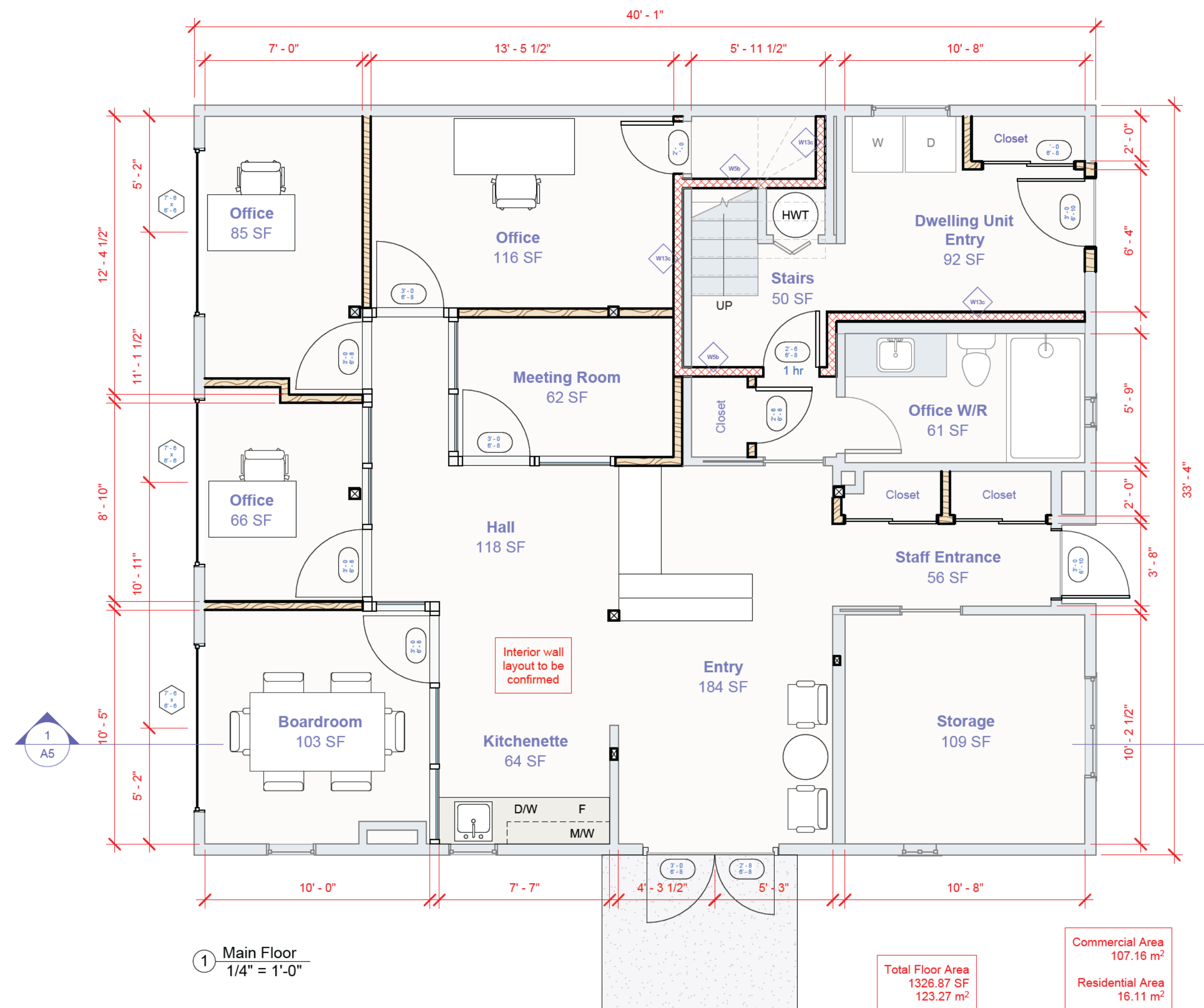
Development Permit Area No. 5: Commercial / Industrial

Development Permit Application Guideline Review Table

OCP Section	Guideline	Project Details (describe how your proposal achieves the DP Guidelines)
Form, Character, and Siting		
14.7.2	Design buildings to take advantage of natural contours and features of the landscape so that buildings and structures fit into the natural surroundings.	No Proposed changes to the existing building
14.7.3	Cluster buildings to minimize disturbance of natural vegetation.	No proposed changes to the existing building
14.7.7	The form and character of buildings and structures in the McDonald Park Road Industrial area must be consistent with the development fronting Mills Road in order to maintain the light industrial character.	N/A
14.7.9	Accessory developments such as parking and storage should be sited away from the shoreline in order to reduce the visual impact of the development from the water.	New proposed parking lot will be located in backyard
14.7.10	High quality, low maintenance fencing shall be provided along all interior lot lines common with residential uses, including rear lot lines.	Fences meeting requirements are existing in place
14.7.11	Buildings shall be designed to present an attractive appearance toward public streets. Where a building face, other than the front of a building is visible from a street or road, a visually attractive appearance shall be provided to a standard similar to that of the front of the building.	Buildings will be re-painted, a new roof will be installed and energy efficient windows and doors will be installed
14.7.12	Landscaped, well-lit and attractively surfaced pedestrian connections shall be provided from the street frontages to the building's main entry.	See Landscape Plan
14.7.13	Fences or retaining walls along the public street frontage should be avoided. Where fences or walls are provided, they should be no more than 10 metres long without a break or jog. Fences should be no higher than 1.2 metres when located within 2 metres of the highway right-of-way.	Existing fence at front of yard will be removed
14.7.20	The form and character of buildings and structures on Agricultural and Rural designated lands that require a development permit must reflect the rural ambience of the surrounding area. Signage must not be oversized. Signs should be prepared professionally, must have a muted colour palette and the use of natural-looking building materials, such as wood and stone, is encouraged.	Professional black and white company sign will be built of wood and installed on existing sign post

OCP Section	Guideline	Project Details (describe how your proposal achieves the DP Guidelines)
Landscaping & Lighting		
14.7.1	Environmental Design (LEED) standards in the design of buildings. Techniques such as rain gardens, vegetated swales, separation of impervious surfaces, installing below surface infiltration beds and tree box filters, and redirecting water from drain pipes into vegetated areas are encouraged.	No change to existing building
14.7.4	Minimize outdoor storage and screen outdoor storage and loading/unloading facilities from neighbouring properties through the retention of trees and native understorey plants or by planting native or complementary species.	Two of the small existing sheds will be removed. The accessory building will remain, hidden in the back yard behind fencing.
14.7.5	Screen parking areas to the extent possible with existing landscaping and new landscaping.	Yes, see Landscape plan
14.7.6	Install outdoor lighting which is of low intensity and pedestrian-oriented or which is directed down and away from surrounding residential areas so as to minimize glare into the environment.	Yes, low voltage pedestrian lighting will be installed as per Landscape Plan
14.7.8	Plant materials must be established and well-maintained to separate parking clusters and to screen storage and service areas from McDonald Park Road and the adjacent rural area.	N/A
14.7.14	Landscaping of the public boulevard is encouraged in order to integrate the development with the design of the street and with neighbouring properties.	Public boulevard will not be disturbed except for driving aisle to parking lot, see Site Plan
14.7.15	Mature trees shall be preserved and, where possible, integrated with new landscaping. The planting of trees is strongly encouraged.	No trees will be removed (hedges along southern boundary will be removed, and replanted as per Landscape Plan)
14.7.16	Energy efficiency and conservation should be considered in the design of landscaped areas and in the selection of plant material. This can be accomplished through: <ul style="list-style-type: none"> a) using native and/or drought-resistant species; b) designing the landscaping to moderate the effect of wind; c) providing shade in summer; d) allowing natural drainage to occur throughout the site; e) allowing daylight into buildings; and f) redirecting water from rooftop runoff and downspouts into vegetated areas or rain barrels for later irrigation use. 	Native, drought-resistant species will be planted Natural drainage will conform to bylaw requirements
14.7.17	Consider incorporating rain gardens and vegetated swales into parking lot landscaping to increase the natural absorption of rainwater runoff from paved areas into the ground.	Swales will be designed to increase natural absorption of rainwater along northern property boundary
14.7.18	Maximize the amount of landscaped areas and minimize the amount of impervious paved surfaces to increase the natural absorption of rainwater on a site.	See Site Plan and Landscaping Plan for details
14.7.19	Consider the use of permeable parking pavers or shallow concrete swales with rolled edges as an alternative treatment for surface drainage.	Surface drainage intended to be directed to north property line vegetation if possible

OCP Section	Guideline	Project Details (describe how your proposal achieves the DP Guidelines)
Marina Guidelines		
14.7.21	Development plans must illustrate how existing vistas, interesting sight lines (including ocean views) and open space will be preserved while protecting the privacy of adjacent land uses.	Hedge on south property line to be removed, improving adjacent neighbor's (Wendy Hubner) view of ocean. New landscaping improves sight lines
14.7.22	Building designs should incorporate measures to provide public safety and comfort through adequate lighting, clear sight lines and by the attractive use of canopies or overhangs where appropriate.	Small overhang proposed for new south entrance. Access paths will be lighted
14.7.23	Public access to the waterfront must be provided where it is safe to do so.	N/A
14.7.24	Pedestrian routes must be integrated with clearly defined parking areas, public spaces and commercial areas in an attractive manner.	See Site Plan
14.7.25	Parking areas must be well screened by landscaping or buildings to minimize the visual impact of these areas.	A gated, fenced parking lot is proposed, with new landscaping. See Site Plan
14.7.26	The use of natural-looking building materials, such as wood and stone, is encouraged.	Existing building is clad with Western Red Cedar siding. No changes in material proposed
14.7.27	Boathouses should be clad in a non-reflective material.	N/A
14.7.28	The appearance of buildings should reflect the marine character. New buildings should be of a scale compatible with the existing buildings and should be pedestrian-oriented.	No changes to the building size proposed
14.7.29	Servicing areas, such as garbage and recycling areas, must be located inconspicuously within the site.	Servicing areas will be kept behind existing fencing

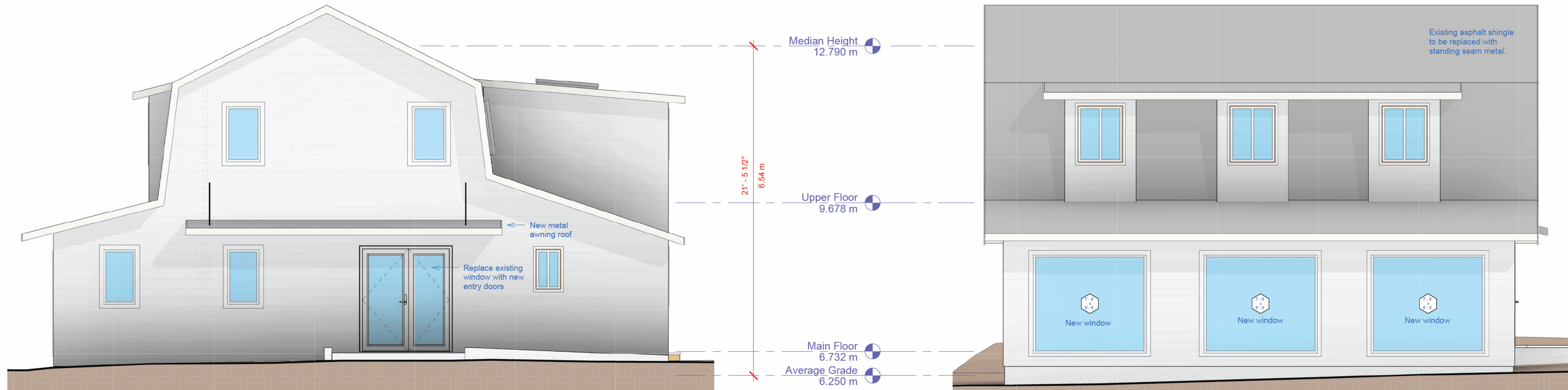


4		
3	Re - Issued for Development Permit	Feb 28 2024
2	Issued for Development Permit	Jan 22 2024
1	Issued for Review	Dec 22 2023
No.	Description	Date

Floor Plans

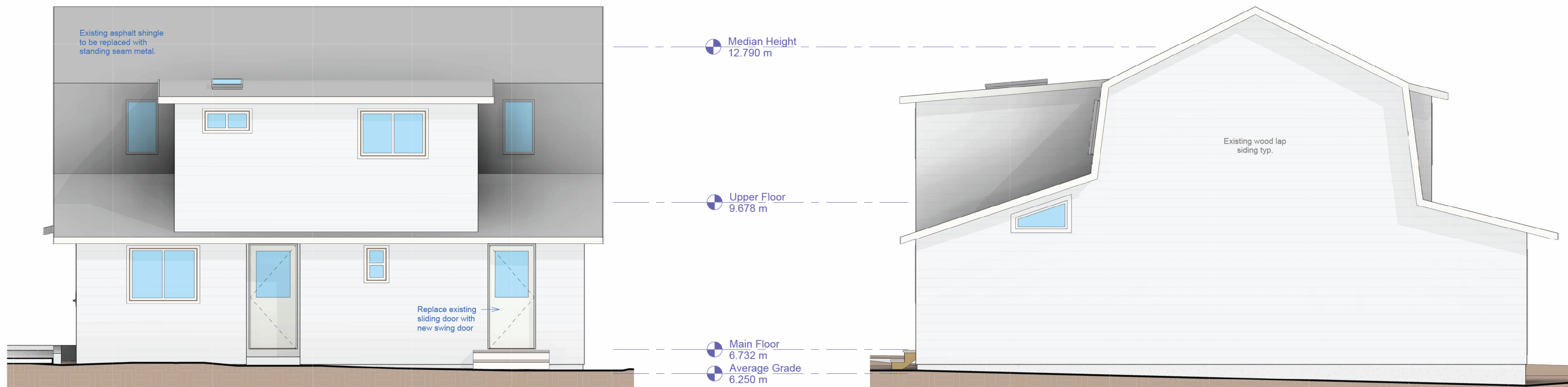
10251 West Saanich Road

Project Number	Stillwater
For	T. Labelle
Drawn By	TvA
Sheet	A2
Scale	



① South
1/4" = 1'-0"

② West
1/4" = 1'-0"



③ East
1/4" = 1'-0"

④ North
1/4" = 1'-0"

4		
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Elevations

10251 West
Saanich Road

Project Number	Stillwater
For	T. Labelle
Drawn By	TvA
Sheet	A4
Scale	

All work to meet the requirements of the current 2018 BCBC and the North Saanich zoning bylaw 1255

Landscaping Details:

- Remove existing fence and cypress trees along south property line
- Retain all other existing plantings and landscaping outside of new asphalt area
- Install new evergreen hedge along east boundary to separate commercial from residential use as per Section 402.1 of the Zoning Bylaw
- Establish new fence and cedars along south property line



① Landscaping
1 : 100

4		
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Landscaping

10251 West Saanich Road

Project Number	Stillwater
For	T. Labelle
Drawn By	TvA
Sheet	A6
Scale	