

Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Part 1

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

An application is submitted for one or more of the following:

- Rezoning/Bylaw Text Amendment
- OCP Amendment
- Development Permit
- Development Variance Permit

- Board of Variance
- Temporary Use Permit
- _____

Description of Property

Civic Address 10230 McDonald Park Road, North Saanich, BC PID 030-305-471
Legal Lot D Block 40 Section 14 Range 2E Plan EPP76539

Contacts

Please print clearly.

Applicant

Name David Gvozdanovich		Company JDG Construction Management Ltd	
Address 1070 14th street west		City north vancouver	
Email david@jdgconstruction.ca		Postal Code V7P 3P3	
Phone (604) 986-4494	Cell (604) 789-1799	Fax	

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature (required) 	Date Feb 29, 2024
--------------------------------------	----------------------

Owner

If the applicant is NOT the owner, complete "Owner's Authorization" form.

Name Stuart Shoen		Company FIVE SAC SELF-STORAGE CORP., Inc.	
Address 207 E Clarendon Ave		City Phoenix, AZ	
Email		Postal Code 85004	
Phone 602-248-0525	Cell	Fax	

Any personal information provided in this application is collected for the purpose of administering the Local Government Act, and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents	Receipt No.	Fees
Required Plans		\$

Forms of payment accepted: CASH CHEQUE INTERAC

Owner's Authorization



District of North Saanich
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Description of Property

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Legal Lot D Block EPP76539 Section 14 Range 2E Plan 030-305-471

Authorization

Authorization *The owner(s) of the above property, hereby authorize and appoint* Joe Newell Architect Inc
as our agent for the purposes of the submitted application. Permit No. _____
All communication and correspondence regarding this application shall be directed to the applicant.
Print Name

Owner(s)

Please print clearly.

<small>Owner Name (or Company Representative with Signing Authority)</small> <u>Stuart Shoen</u>	<small>Company</small> <u>FIVE SAC SELF-STORAGE CORP., Inc.</u>
<small>Address</small> <u>207 E Clarendon Ave</u>	<small>City</small> <u>Phoenix, AZ</u>
<small>Phone</small> <u>602-248-0525</u>	<small>Postal Code</small> <u>85004</u>
<small>Registered Owner Signature (or Company Representative with Signing Authority)</small> 	<small>Date</small> <u>3.13.24</u>
<small>Owner Name (or Company Representative with Signing Authority)</small>	<small>Company</small>
<small>Address</small>	<small>City</small>
<small>Phone</small>	<small>Postal Code</small>
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<small>Owner Name (or Company Representative with Signing Authority)</small> Stuart Shoan	<small>Company</small> FIVE SAC SELF-STORAGE CORP., Inc.
<small>Address</small> 207 E Clarendon Ave	<small>City</small> Phoenix, AZ
<small>Phone</small> 602-248-0525	<small>Postal Code</small> 85004
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Development Permit Area No. 5: Commercial / Industrial

Development Permit Application Guideline Review Table

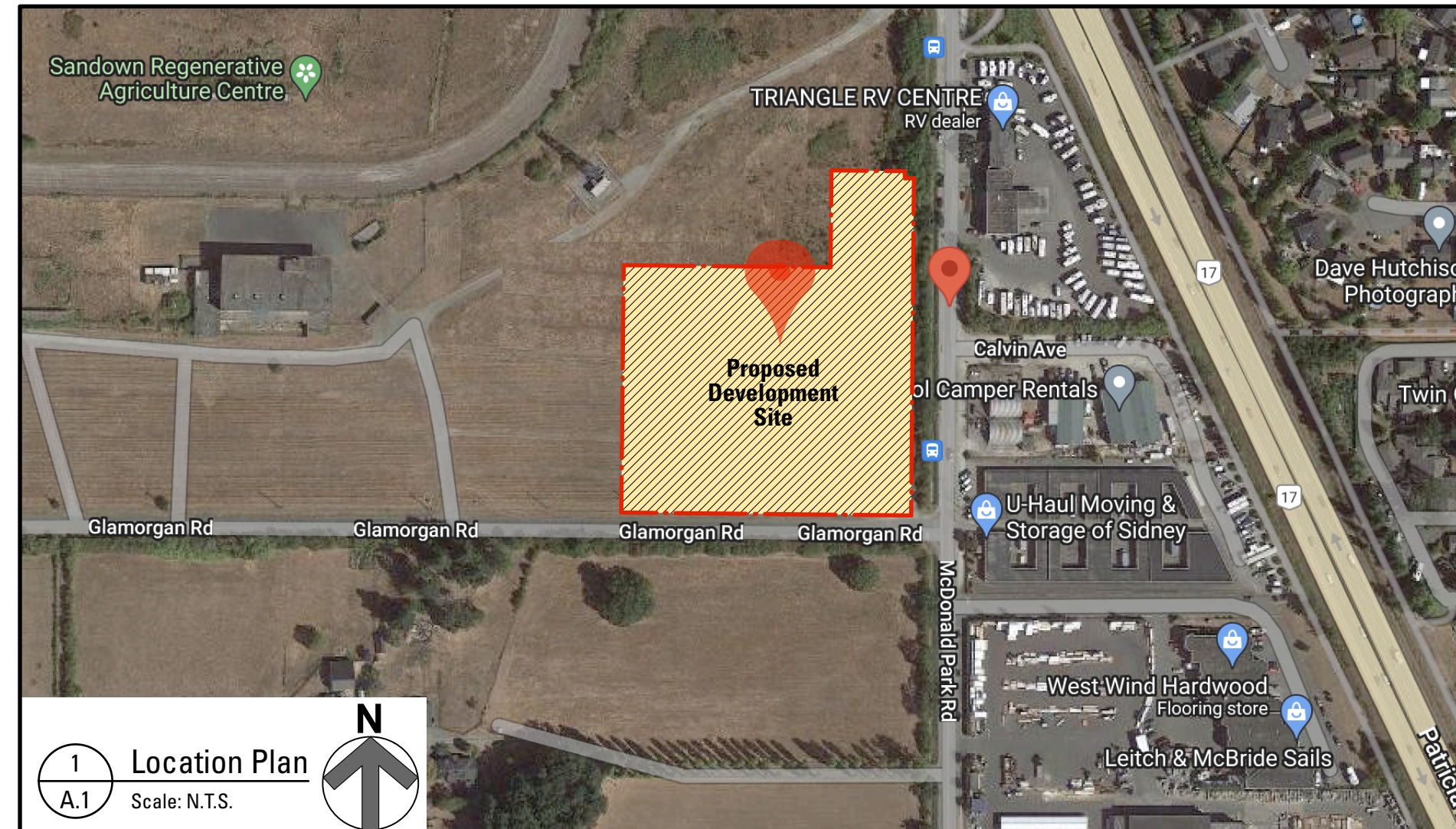
OCP Section	Guideline	Project Details (describe how your proposal achieves the DP Guidelines)
Form, Character, and Siting		
14.7.2	Design buildings to take advantage of natural contours and features of the landscape so that buildings and structures fit into the natural surroundings.	Refer to attached elevations. Building heights minimized and exterior appearance designed for consistency with the character of the neighbourhood.
14.7.3	Cluster buildings to minimize disturbance of natural vegetation.	Building locations are currently gravel without vegetation.
14.7.7	The form and character of buildings and structures in the McDonald Park Road Industrial area must be consistent with the development fronting Mills Road in order to maintain the light industrial character.	Refer to attached elevations, proposed to create uniformity in the area.
14.7.9	Accessory developments such as parking and storage should be sited away from the shoreline in order to reduce the visual impact of the development from the water.	N/A
14.7.10	High quality, low maintenance fencing shall be provided along all interior lot lines common with residential uses, including rear lot lines.	N/A.
14.7.11	Buildings shall be designed to present an attractive appearance toward public streets. Where a building face, other than the front of a building is visible from a street or road, a visually attractive appearance shall be provided to a standard similar to that of the front of the building.	Refer to attached elevations. Architectural enhancements are incorporated into the elevation visible from the Glamorgan Road.
14.7.12	Landscaped, well-lit and attractively surfaced pedestrian connections shall be provided from the street frontages to the building's main entry.	Frontages are proposed to include rain gardens and landscape to all street sides.
14.7.13	Fences or retaining walls along the public street frontage should be avoided. Where fences or walls are provided, they should be no more than 10 metres long without a break or jog. Fences should be no higher than 1.2 metres when located within 2 metres of the highway right-of-way.	Loading bays screening fence and landscaping proposed on Glamorgan Road frontage.
14.7.20	The form and character of buildings and structures on Agricultural and Rural designated lands that require a development permit must reflect the rural ambience of the surrounding area. Signage must not be oversized. Signs should be prepared professionally, must have a muted colour palette and the use of natural-looking building materials, such as wood and stone, is encouraged.	Property is zoned commercial.

OCP Section	Guideline	Project Details (describe how your proposal achieves the DP Guidelines)
Landscaping & Lighting		
14.7.1	Environmental Design (LEED) standards in the design of buildings. Techniques such as rain gardens, vegetated swales, separation of impervious surfaces, installing below surface infiltration beds and tree box filters, and redirecting water from drain pipes into vegetated areas are encouraged.	Building envelopes are proposed to exceed LEEDS thermal standards. Extensive landscaping and rain gardens are included throughout the property.
14.7.4	Minimize outdoor storage and screen outdoor storage and loading/unloading facilities from neighbouring properties through the retention of trees and native understorey plants or by planting native or complementary species.	No exterior storage is proposed. Loading bays are screened w/ fence and landscape.
14.7.5	Screen parking areas to the extent possible with existing landscaping and new landscaping.	Parking is screened with fence and landscaping.
14.7.6	Install outdoor lighting which is of low intensity and pedestrian-oriented or which is directed down and away from surrounding residential areas so as to minimize glare into the environment.	Exterior lighting will be installed along the the parking area and not towards the street.
14.7.8	Plant materials must be established and well-maintained to separate parking clusters and to screen storage and service areas from McDonald Park Road and the adjacent rural area.	Extensive landscaping along McDonald Park Road, Glamorgan Road and throughout the site
14.7.14	Landscaping of the public boulevard is encouraged in order to integrate the development with the design of the street and with neighbouring properties.	Landscaping and rain gardens are continuous along McDonald Road, Glamorgan Road and the adjacent properties.
14.7.15	Mature trees shall be preserved and, where possible, integrated with new landscaping. The planting of trees is strongly encouraged.	No mature trees on site. New proposed landscaping includes for new trees throughout
14.7.16	Energy efficiency and conservation should be considered in the design of landscaped areas and in the selection of plant material. This can be accomplished through: <ul style="list-style-type: none"> a) using native and/or drought-resistant species; b) designing the landscaping to moderate the effect of wind; c) providing shade in summer; d) allowing natural drainage to occur throughout the site; e) allowing daylight into buildings; and f) redirecting water from rooftop runoff and downspouts into vegetated areas or rain barrels for later irrigation use. 	Inclusion of rain gardens and landscaping along pedestrian walkways, stormwater for roof and parking is retained (90% of rainwater runoff) and managed through rain gardens in accordance with the relevant covenant on this property. Rain gardens inclusive of native planting and new trees.
14.7.17	Consider incorporating rain gardens and vegetated swales into parking lot landscaping to increase the natural absorption of rainwater runoff from paved areas into the ground.	Extensive rain gardens are proposed throughout the development
14.7.18	Maximize the amount of landscaped areas and minimize the amount of impervious paved surfaces to increase the natural absorption of rainwater on a site.	Extensive rain gardens manage almost all rain runoff from rooftops and parking areas
14.7.19	Consider the use of permeable parking pavers or shallow concrete swales with rolled edges as an alternative treatment for surface drainage.	Rain gardens are used throughout for surface drainage

OCP Section	Guideline	Project Details (describe how your proposal achieves the DP Guidelines)
Marina Guidelines		
14.7.21	Development plans must illustrate how existing vistas, interesting sight lines (including ocean views) and open space will be preserved while protecting the privacy of adjacent land uses.	New building location maintain neighbouring privacy while providing required access from neighbouring property through this development
14.7.22	Building designs should incorporate measures to provide public safety and comfort through adequate lighting, clear sight lines and by the attractive use of canopies or overhangs where appropriate.	pedestrian access provided with clear access from public street and walkways to the building entrance with clear sight lines throughout. Existing lighting from neighbouring site, along with added lighting to the interior drive aisle will provide full lite access.
14.7.23	Public access to the waterfront must be provided where it is safe to do so.	N/A
14.7.24	Pedestrian routes must be integrated with clearly defined parking areas, public spaces and commercial areas in an attractive manner.	Pedestrian walkways provided from public path and streets and are adjacent to new landscaping and rain gardens
14.7.25	Parking areas must be well screened by landscaping or buildings to minimize the visual impact of these areas.	Parking areas are screened with fence and landscaping.
14.7.26	The use of natural-looking building materials, such as wood and stone, is encouraged.	Refer to attached elevations. Building design includes various colours, materials and wood grain highlights.
14.7.27	Boathouses should be clad in a non-reflective material.	N/A
14.7.28	The appearance of buildings should reflect the marine character. New buildings should be of a scale compatible with the existing buildings and should be pedestrian-oriented.	Proposed building size and height is consistent with the neighbourhood and provides pedestrian access throughout the site
14.7.29	Servicing areas, such as garbage and recycling areas, must be located inconspicuously within the site.	Garbage and recycling area is not visible from the streets .

Project Data:

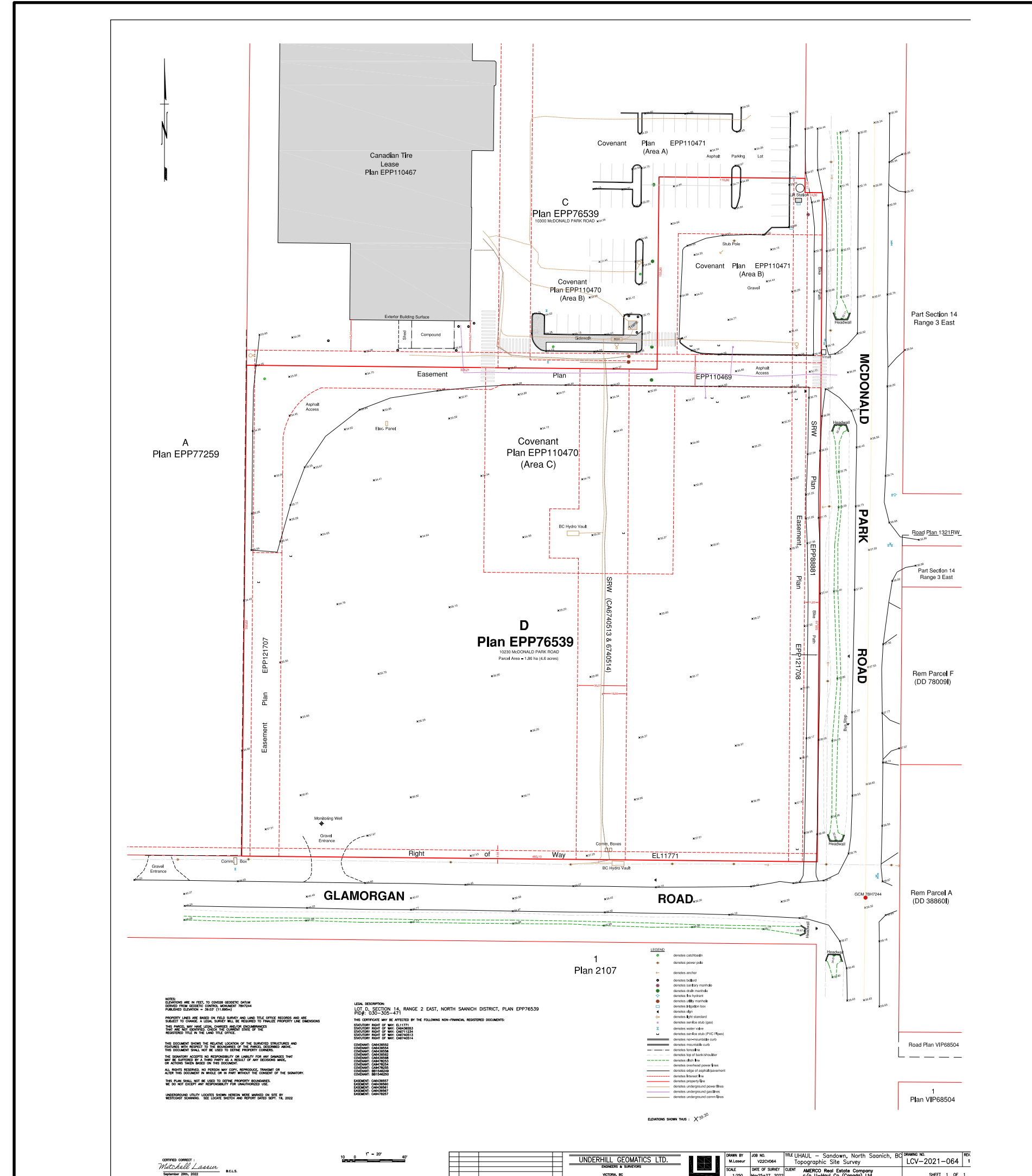
Client / Owner:	U-Haul of North saanich	
Architect:	Joseph R. Newell, MAIBC, B.Arch., B.E.S. Joe Newell Architect Inc., 2-101 Presley Place, Victoria, B.C. Phone: 250-382-4242 Email: joe@joenewellarchitect.com	
Applicable Codes and Regulations:	Parts 3 and 4, B.C. Building Code 2018 District of North Saanich Official Community Plan Bylaw No. 1130 District of North Saanich Zoning and Development Bylaw No. 1255	
Energy Step Code:	Required: Step 3	Proposed: Step 3
Civic Address of Property:	10230 McDonald Park Road, North Saanich, B.C.	
Zoning:	C-5 - Sandown Commercial	
Project Description:	Proposed U-Box Storage and Distribution	
Site Area:	4.6 Acres	18,615.5 m ² 200,321 s.f.
Floor Area:		3,715.06 m ² 39,988.56 s.f.
Coverage (Lot Portion B):	Permitted: 40.0%	Proposed: 19.96%
FSR (Lot Portion B):	Permitted: N/A	Proposed: 0.20 : 1.0
Building Height:	Maximum Permitted: 9.15m	Proposed: 9.15m
Setbacks:	Required:	Proposed:
Front:	7.60m	82.51m
Interior Side:	2.00m	17.91m
Exterior Side:	7.60m	24.85m
Rear:	2.00m	9.29m
Vehicle Parking:	Light Industrial: 1 per 70m ² = 3,724.82 / 70 = 54 spaces 1 per 2 employees (max. 2 employees) = 1 space Required: 55 vehicle spaces Proposed: 55 vehicle spaces	
Accessible Vehicle Parking:	3% accessible + 4% limited mobility = 1.65 accessible + 2.2 limited mobility Required: 2 accessible spaces + 3 limited mobility spaces Proposed: 2 accessible spaces + 3 limited mobility spaces	
Small Car Parking:	Permitted: 15% = 8.25 = 8 small car spaces Proposed: = 3 small car spaces	
Loading Spaces:	2 per up to 500 m ² + 1 additional for each 2,500 m ² = 2 + (3,724.82 - 500)/2500 = 2 + 1.23 = 3.23 spaces Required: 04 loading spaces Proposed: 04 loading spaces	



1 Location Plan
A.1 Scale: N.T.S.

Building Code Information:

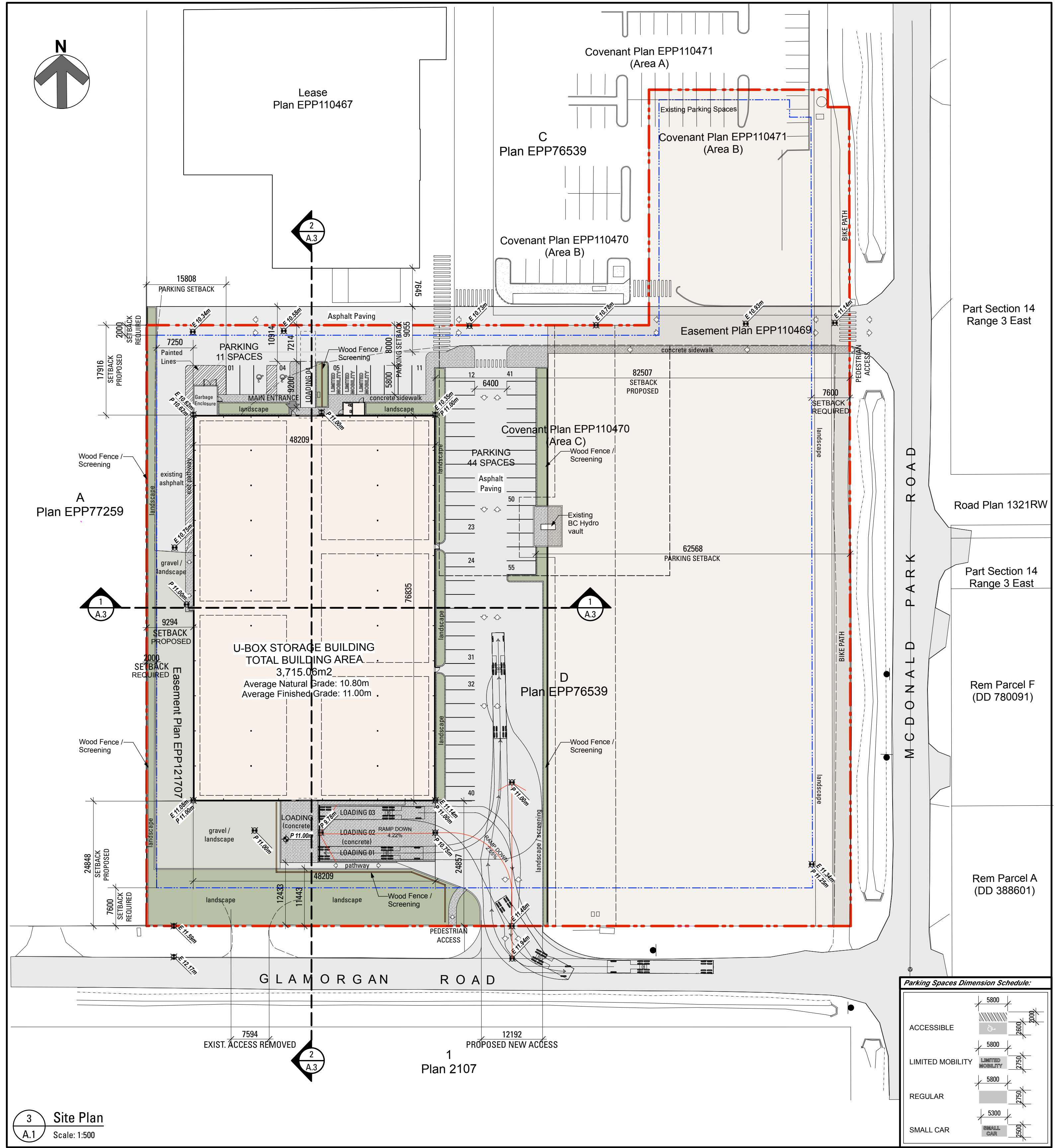
Design Code:	British Columbia Building Code 2018, Part 3.	
Classification of Buildings:	Group F, Division 3, Low-hazard Industrial Occupancies (table 3.1.2.1)	
Occupant Load:	U-Box Building: Storage = 46.00 m ² /person = 3,704.12 / 46 = 81 persons (table 3.1.17.1)	
Building Fire Safety:	Group F, Division 3, One Storey (3.2.2.87) - permitted to be of combustible construction or noncombustible construction used singly or in combination provided a) it is not more than 1 storey in building height, and b) it has a building area not more than i) 5,600 m ² if facing 1 street,	
Egress Doorways:	Minimum 2 egress doorways required in a floor area that is not sprinklered throughout, and i) the area of the room or suite is more than the value in table 3.3.1.5-A (200.00m ²), or ii) the travel distance within the room or suite to the nearest egress doorway is more than the value in the Table 3.3.1.5-A (15.00m)	
Distance between Exits:	The least distance between 2 exits from a floor area shall be one half the maximum diagonal dimension of the floor area. (3.4.2.3.b)	
Location of Exits:	Travel distance Max. 30 m (3.4.2.5.1.(f))	
Health Requirements:	Estimated occupant load of 1-2 staff members per shift Required: 01 Provided: 01 Universal	



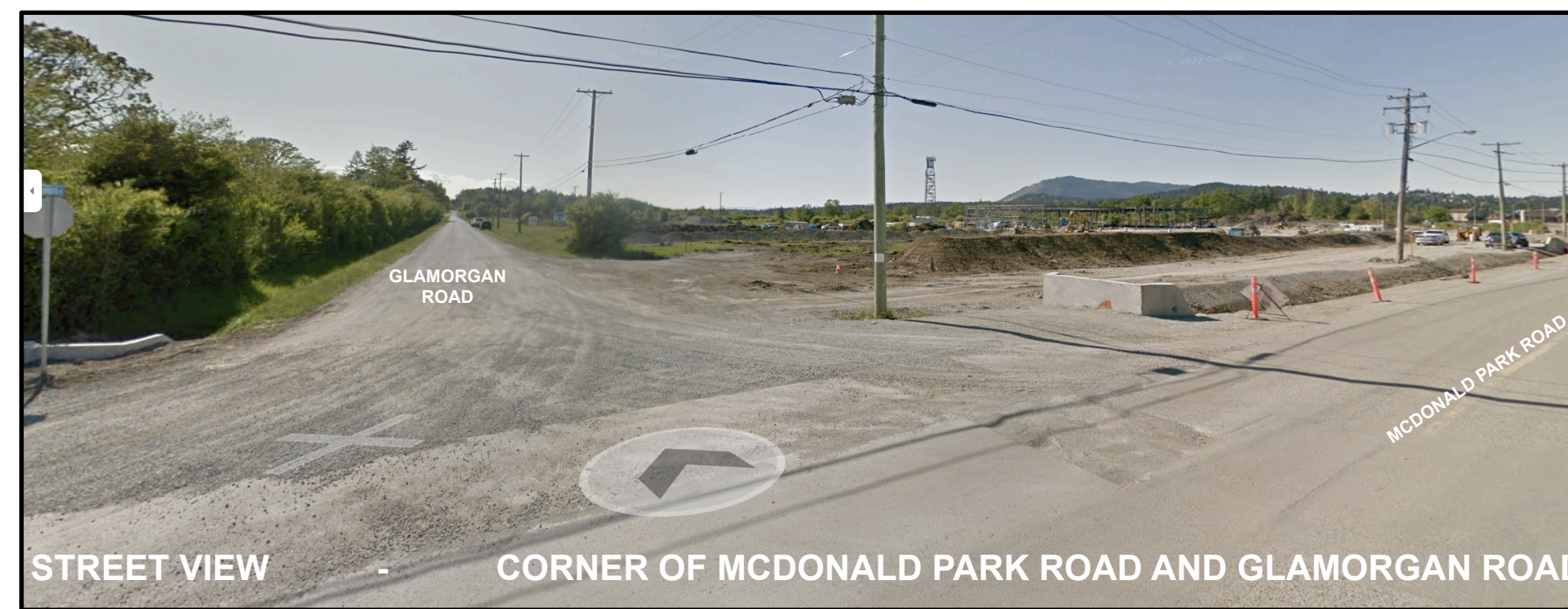
2 Survey
A.1 Scale: 1:1000

Drawing List:

Architectural:	A.1 Project Data, Location Plan, Survey, Site Plan A.2 Floor Plan A.3 Elevations A.4 Building Sections A.5 3D Rendering
Civil:	C-101 Site Servicing Plan C-102 Glamorgan RD Frontage Works
Landscape:	L100 Landscape Concept Plan



3 Site Plan
A.1 Scale: 1:500



STREET VIEW CORNER OF MCDONALD PARK ROAD AND GLAMORGAN ROAD



STREET VIEW MCDONALD PARK ROAD LOOKING SOUTH AND EASEMENT DRIVEWAY

Parking Spaces Dimension Schedule:

ACCESSIBLE	5800
LIMITED MOBILITY	5800
REGULAR	5800
SMALL CAR	5300

PROPOSED STORAGE BUILDING DEVELOPMENT

10230 MCDONALD PARK ROAD, NORTH SAANICH, B.C.

U-HAUL of North Saanich

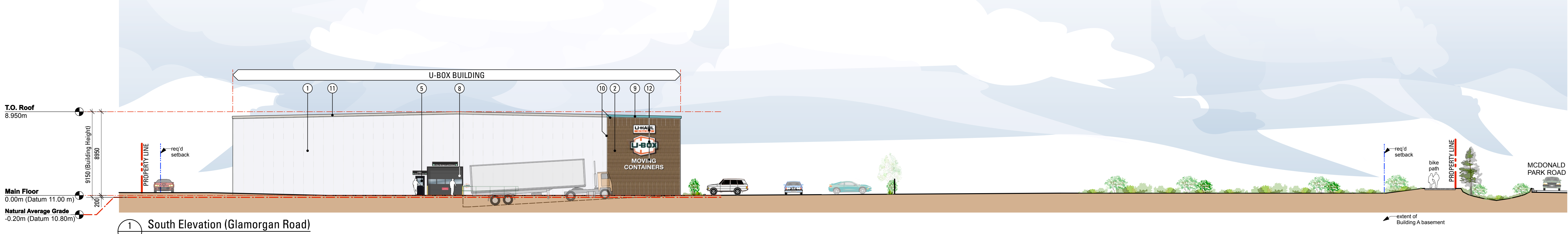
PROJECT DATA / LOCATION PLAN / SURVEY / SITE PLAN

A.1

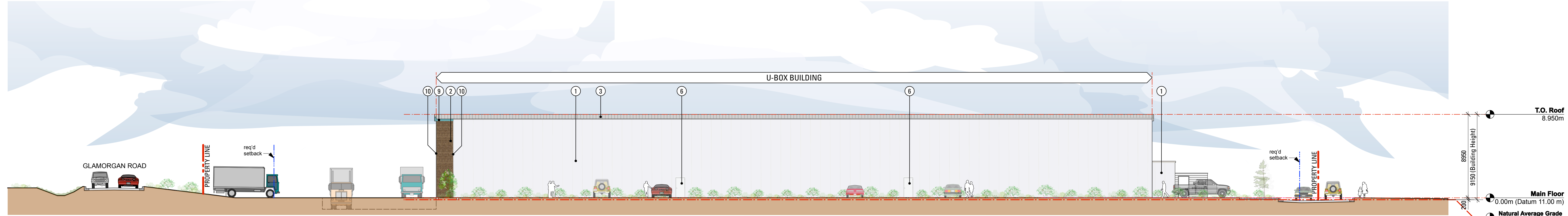
Joe Newell architect inc.

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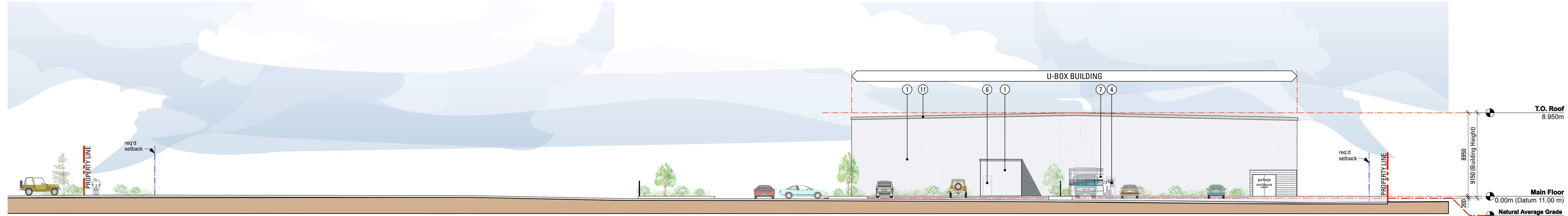
2-101 Presley Pl, Victoria, BC, V9B 0S4
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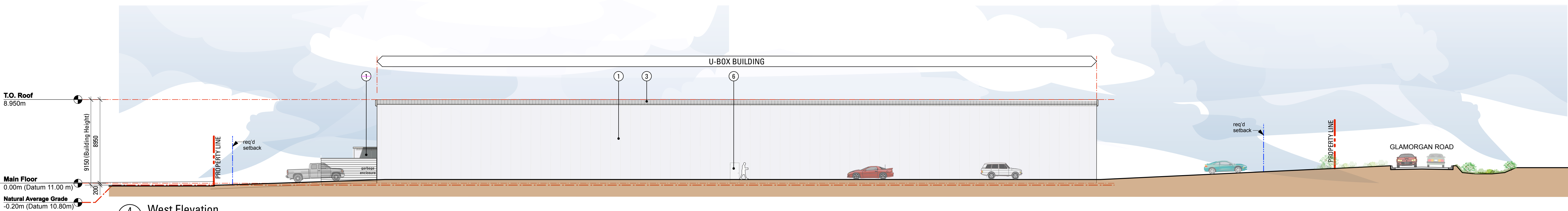
1 South Elevation (Glamorgan Road)
A.3 Scale: 1:200



2 East Elevation
A.3 Scale: 1:200



3 North Elevation
A.3 Scale: 1:200



4 West Elevation
A.3 Scale: 1:200

Finish Schedule			
1	Vertical Insulated Metal Wall Panel	Stucco Embossed	Polar White
2	Horizontal Lap Siding	Woodland Series	Walnut
3	Standing Seam Metal Roof		
4	Glazed Swing Door	Metal Doors and Frames	Polar White
5	Glazed Swing Door	Metal Doors and Frames	Black
6	Swing Door	Metal Doors and Frames	Polar White
7	Glazed Overhead Door		Polar White
8	Glazed Overhead Door		Black
9	Metal Trim / Fascia		Aquarium (6767)
10	Metal Trim / Fascia		Galvalume
11	Metal Trim / Fascia		Sandstone
12	Signage		

Colour Schedule		
	Polar White	
	Walnut	
	Aquarium (6767)	

U-HAUL
of North Saanich

PROPOSED STORAGE BUILDING DEVELOPMENT
10230 MCDONALD PARK ROAD, NORTH SAANICH, BC.

ELEVATIONS **A.3**

Issued for Development Permit Application - 2024.02.06

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REAL ESTATE COMPANY
CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
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