

Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

Part 1

An application is submitted for one or more of the following:

- Rezoning/Bylaw Text Amendment
- OCP Amendment
- Development Permit
- Development Variance Permit

- Board of Variance
- Temporary Use Permit
- _____

Description of Property

Civic Address 1070 CYPRESS RD, NORTH SAANICH PID 003-026-272
 Legal Lot 16 Block 7 Section 21 Range 1W NORTH SAANICH DISTRICT Plan 1787

Contacts

Please print clearly.

Applicant

Name <u>WALTER LORD</u>		Company	
Address <u>1070 CYPRESS RD</u>		City <u>NORTH SAANICH</u>	
Email [REDACTED]		Postal Code <u>V8L 5P4</u>	
Phone [REDACTED]	Cell [REDACTED]	Fax	

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature (required) <u>[Signature]</u>	Date <u>August 14, 2024</u>
--	--------------------------------

Owner

If the applicant is NOT the owner, complete "Owner's Authorization" form.

Name <u>Refer to Applicant Information Above</u>		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

Any personal information provided in this application is collected for the purpose of administering the Local Government Act, and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents	Receipt No.	Fees
Required Plans		\$

Forms of payment accepted:

CASH

CHEQUE

INTERAC

Development Application



District of North Saanich

Planning & Community Services
1620 Mills Road, North Saanich BC V8L 5S9

Phone: 250-655-5470 Fax: 250-656-0782
www.northsaanich.ca

Part 1

An application is submitted for one or more of the following:

- Rezoning/Bylaw Text Amendment
- Board of Variance
- OCP Amendment
- Temporary Use Permit
- Development Permit
- _____
- Development Variance Permit

Description of Property

Civic Address 1070 CYPRESS RD, NORTH SAANICH PID 003-026-212
 Legal Lot 16 Block 7 Section 21 Range 1W NORTH SAANICH DISTRICT Plan 1787

Contacts

Please print clearly.

Applicant

Name <u>Sheila Marlene Lord</u>		Company	
Address <u>1070 CYPRESS RD</u>		City <u>NORTH SAANICH</u>	
Email [REDACTED]		Postal Code <u>V8L 5P4</u>	
Phone [REDACTED]	Cell [REDACTED]	Fax	

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature (required) <u>S. Marlene Lord</u>	Date <u>August 14, 2024</u>
--	--------------------------------

Owner

If the applicant is NOT the owner, complete "Owner's Authorization" form.

Name <u>Refer to Applicant Information Above</u>		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

Any personal information provided in this application is collected for the purpose of administering the Local Government Act and the bylaws of the municipality under the Local Government Act, and under the authority of those enactments. Questions about the collection of the information may be directed to the Freedom of Information Officer.

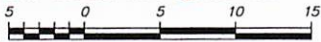
Office Use Only

Reviewed By	Date	File No.
Received	Received By	Folio No.
Required Documents	Receipt No.	Fees
Required Plans		\$

Forms of payment accepted: CASH CHEQUE INTERAC

**BC Land Surveyor's Site Plan Of:
 Lot 16, Block 7, Section 21, Range 1 West,
 North Saanich District, Plan 1787,
 P.I.D. 003-026-272**

Civic Address: 1070 Cypress Road



Scale = 1:300

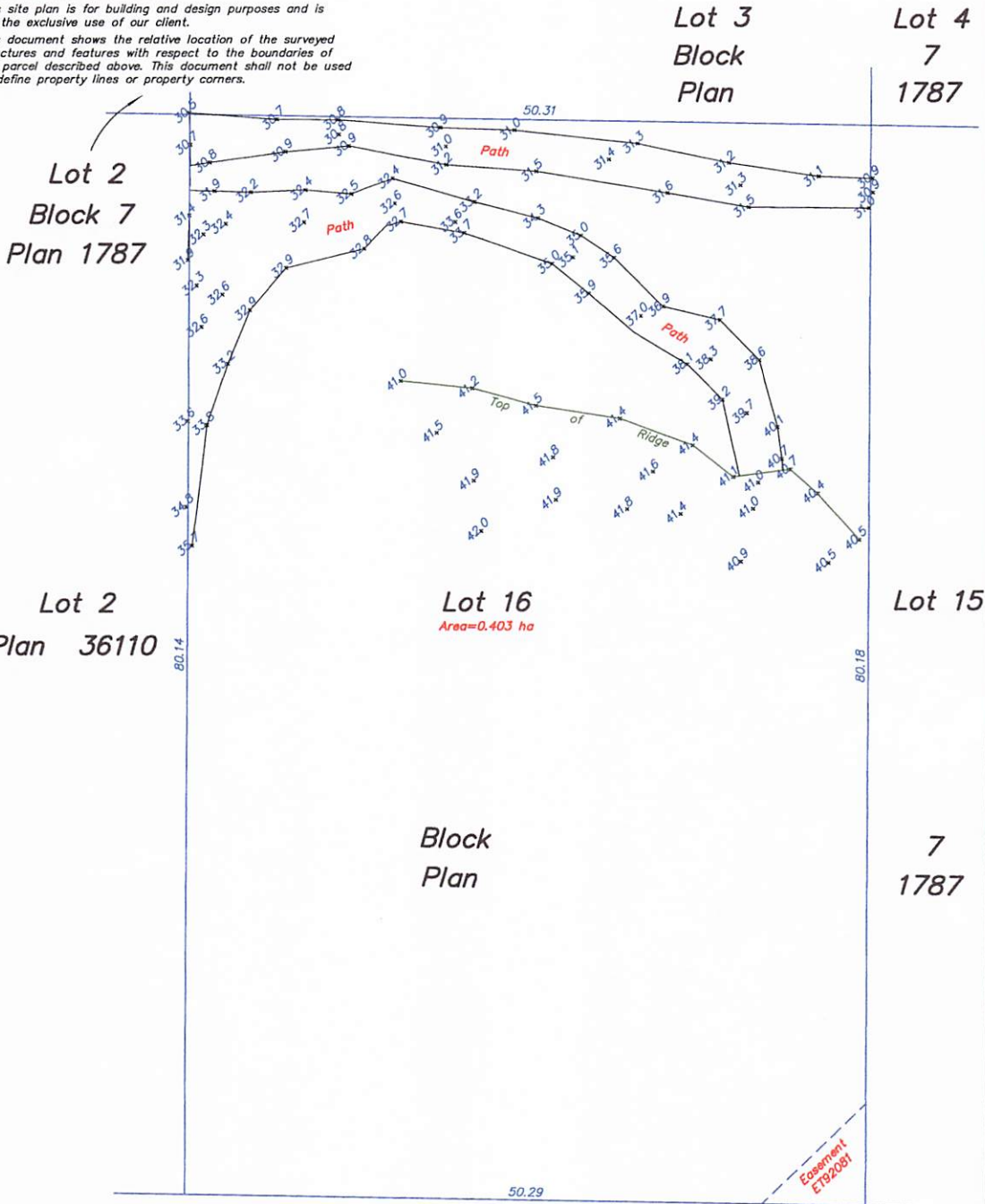
Dated this 20th day of August, 2024.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD288C and derived from OCM 78H7319.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

#4-2227 James White Boulevard
 Sidney, BC V8L 1Z5
 Telephone (250) 656-5155
 File: 240193A\SIT\NO

Cypress Road

The subject property is affected by the following registered documents:
 ET92081

Project Rationale

We wish to remove the vegetation from a pathway to access the lower part of our acreage for maintenance purposes and in the case of a fire event.

Steep Slope Report

Over the past sixty + years the vegetation over the rear slope has been growing uninhibited with no signs of instability. We do not wish to disturb the existing slope as the vegetation will increase as time goes on.

Landscape Plan and Cost Estimate

The pathway will be finished with an appropriate choice of surfacing after consulting with knowledgeable professionals. The possibility of adding vegetation such as trees or hedges along the pathway for additional stability along the property line may also fit into the plan.